



*We Provide
Peace of Mind!*

Home Inspection Consultants Inc.

Page 1

519-978-3885
homeinspect@xplornet.com

Confidential Inspection Report Sample Amherstburg, ON

May 10, 2018



Client:

This report is the exclusive property of Home Inspection Consultants Inc. and the client whose name appears herewith and its use by any unauthorized persons is prohibited.



Report: sample, amherstburg, on Address: Sample

Inspection Table of Contents

SITE INFORMATION	3
CONDITIONS & ATTENDANCE	4
GROUNDS & PORCHES	6
ROOF	10
EXTERIOR, WINDOWS, FOUNDATION	22
BASEMENT/CRAWL	26
KITCHEN & LAUNDRY	28
BATHROOMS	29
INTERIOR	31
PLUMBING	34
HEATING & AIR CONDITIONING	38
ELECTRICAL	41
MISCELLANEOUS	45
GARAGE	48



We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

SITE INFORMATION

Site Information:

<i>Inspection Address:</i>	Sample.
<i>Inspection Date:</i>	May 10, 2018.
<i>Orientation:</i>	The front of the house faces east.



We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

CONDITIONS & ATTENDANCE

This report is produced for the exclusive use of the client listed in the report in accordance with the signed contract and is therefore subject to the terms and conditions agreed upon therein. Use of this report by any third party is strictly prohibited. This report is the property of Home Inspection Consultants Inc.

Prior to reading this report, it must be emphasized that no home/building is perfect. There may always be deficiencies to some degree or another. It is recommended that a qualified specialist/contractor be consulted with regarding your specific issues of concern. There are numerous additional factors a prospective buyer must take into consideration. These include, but are not limited to: the price, location, size, age and style, property taxes, landscaping, garage and lot size, etc. What may be an item of concern for one individual may be of little importance to another as we all have different needs, priorities and lifestyles. Our intention was to inspect the structural components and not to concentrate on the cosmetic aspects.

The photos included in this report are intended to show an example of a component or a defect/issue, but may not show every occurrence of the defect/issue. When correcting these issues, you should have a qualified specialist carefully check for all similar occurrences.

The following report is the opinion of the Inspector.

CLIMATIC CONDITIONS:

<i>Weather:</i>	The weather at the time of the inspection was mostly cloudy.
<i>Soil Conditions:</i>	The soil at the time of the inspection was generally wet.
<i>Outside Temperature:</i>	The outside temperature at the time of the inspection was approximately 60 - 70 Fahrenheit.

BUILDING CHARACTERISTICS:

<i>Estimate Age Of The House:</i>	The home appears to have been built in the 1980's.
<i>Building Type:</i>	The home can be characterized as a single-family dwelling.

UTILITY SERVICES:

<i>Water Source:</i>	The water supply to the home appears to be municipal.
<i>Sewage Disposal:</i>	It appears that this home is serviced by municipal sewers.
<i>Utilities Status:</i>	At the time of the inspection, the utilities were on.

ATTENDANCE:

<i>Occupancy:</i>	At the time of the inspection, the home was occupied.
<i>People Present:</i>	The following people were present at some time during the inspection: the Purchaser, the Purchaser's family, and the Purchaser's Real Estate Agent.



We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

REPORT DEFINITIONS

Good Condition:

When examined by the Inspector, the component did not have any visible defects. This category refers to brand new homes and newer components.

Fair Condition/Functional:

In the opinion of the Inspector, based solely on visual inspection of the conditions at the time of the inspection, the component performed its intended function. These terms should not be taken to mean that the item is in "like new" condition. The component has sustained normal wear and it meets the minimum required function.

Poor Condition/End of its life expectancy:

When examined by the Inspector, the component was at the end of its life expectancy or has a substantial defect and the component should be replaced or repaired as necessary.

Not Operative:

When examined by the Inspector, the component did not function as intended and should be repaired, replaced or serviced as necessary.

Safety Concern/Issue/Hazard:

Issues that are a potential hazard to safety or health are noted as safety issues and these items should be corrected immediately.

Investigate/Assess Further:

The identified component requires further investigation/assessment by a specialist and should be done prior to making your purchase decision.

Monitor:

Refers to examining the component on a regular basis to determine whether it increases in severity and if so, then appropriate action should be taken ie. repair, replace, seek the advice of a specialist, etc.

***Please Note:**

Minor cracks are typically cosmetic and are caused by normal settlement.

Any reference to water penetration/damage or moisture issues should be investigated further as the extent of any water penetration/damage and moisture is unknown and cannot be determined by a visual home inspection. Any leak or moisture issue can result in mold growth and is often not visible. Mold can grow very quickly and although it may not be present one day, mold can grow and become visible overnight. Water damage can be the result of historical leaks that have since been repaired or might be intermittent issues related to the season, weather, plumbing fixtures and appliances. Professional mold remediation can be a major expense if required and therefore further evaluation is recommended regarding any leak evidence, moisture issue and water damage. Mold and the assessment of indoor air quality is beyond the scope of a home inspection and a Home Inspector cannot determine if there are irritants, spores, pollutants, contaminants, or toxic materials present. A qualified environmental specialist should be consulted for any of these concerns.

The component examinations are not a guarantee or a warranty. Home Warranties can be purchased separately from such companies for protection when component failure occurs. If the future operation of the appliances, mechanical, electrical and plumbing systems is a concern, we strongly recommend that you invest in a home warranty policy designed for repair/replacement of these systems.

Report: sample, amherstburg, on Address: Sample

GROUNDS & PORCHES

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls.

This inspection is visual in nature and does not attempt to determine drainage performance of the site.

Decks and porches are often built close to the ground, where no viewing or access to the under-side is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. Steps, railings and handrails should be inspected periodically for maintenance and/or repair to deter possible hazardous conditions. For safety, do not overload a deck/porch with too many people and/or furnishings.

Grading refers to the slope of the soil around the foundation. For proper water control, the soil immediately around the foundation should slope away from the foundation at a rate of one inch per foot for at least 6-feet. Sand or gravel is not recommended around the foundation as it is porous and does not direct the water away from the foundation.

Information on local soil conditions and issues should be obtained from the local officials or an environmental specialist.

If water accumulates around the foundation, this may cause soil swelling and shrinking which can cause cracking in the exterior walls/foundation. This may also result in water penetrating the home.

Most homes have a drainage pipe around the foundation to collect water standing outside of the foundation. However when a house is more than 25 years old, the drainage pipe may not be present or it may be broken or clogged. Therefore grading is particularly important.

The driveways, sidewalks and patios should slope away from the foundation for proper water control.

The fence surrounding a property may belong to the neighbour or it may be on the property line. This determination cannot be made through a visual home inspection, however your lawyer may be able to research this on your behalf. In addition, the Vendor may have information on fence ownership and property lines.

DRIVEWAY:

Type:

The driveway is asphalt.

Condition:

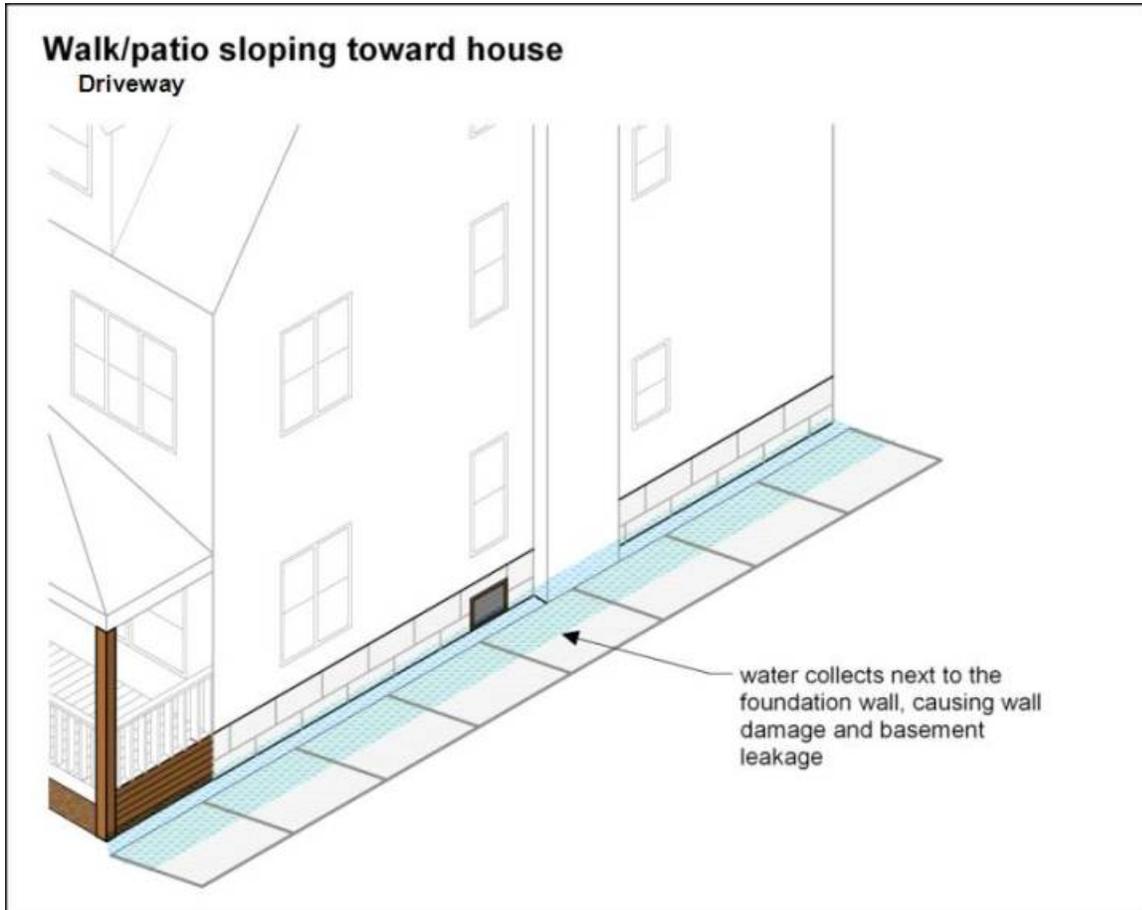
As discussed on site, an area of the driveway slopes towards the garage and this should be monitored and corrected as necessary to deter moisture issues.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample



SIDEWALK:

Type:

The sidewalk is concrete and patio stones.

Condition:

The sidewalk is generally in fair condition.

PATIO:

Type:

The patio is concrete.

Condition:

The patio is generally in fair condition.



We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

GRADE:

Site:

As discussed on site, some areas of the grade slope towards the foundation and this should be corrected to deter water penetration in the home. The grade should slope away from the foundation.



Recommended grading slopes





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

PORCHES:

Front Porch Type:

Condition:

The front porch is concrete and brick.

The support pillars have been removed as it appears that the concrete deck has been upgraded. Since the roof structure is trusses, vertical posts are not essential. However, it is advised that one of the three posts that was removed be replaced to ensure structural integrity.



Steps:

The front steps are in fair condition.

FENCES & GATES:

Type:

Condition:

The fence is pressure treated wood.

The fence is older and requires some repairs.





We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

ROOF

The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection.

The lifespan of asphalt shingles varies depending on such factors as sunlight, pitch of the roof, ventilation, colour of shingles, overhanging branches, number of layers etc. The south and west sides of a roof age more quickly due to sun exposure.

Typical vulnerable areas of a roof include areas where the roof changes direction, at roof openings such as chimneys and vents, under a television antenna, where the roof meets a wall, areas where water runs onto the roof and areas that have been previously repaired. Proper flashing and regular inspection and maintenance is required at these areas.

Because of the important functions that the roof provides, its condition should be assessed regularly and maintenance provided where and as necessary. Failure to provide consistent professional maintenance will reduce the life expectancy of the roof and may cause the roof to leak prematurely. Leaks left unattended can cause serious damage to other systems and components of the home.

Skylights are particularly prone to leakage and need to be inspected periodically as repair/resealing may be required. Also, the integrity of the flashing should be inspected on a regular basis.

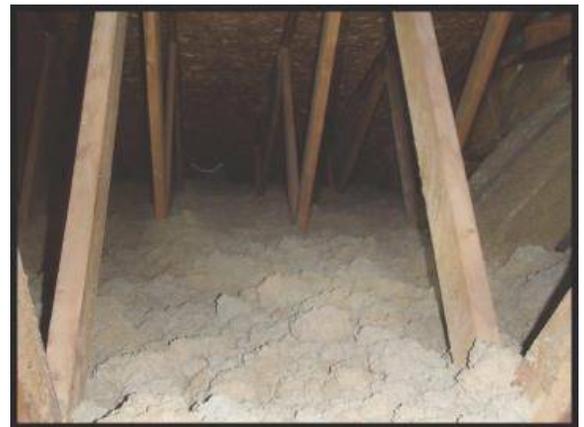
A proper eaves trough and downspout system minimizes the water around the foundation. The eaves trough should have a proper slope for good water flow and to deter water backing-up under the soffit and fascia. The corners of the eaves trough system are areas that tend to leak and these areas should be properly maintained. The eaves troughs also require regular cleaning for proper water control.

The remote areas of the attic were not inspected due to limited access. Therefore the condition of these areas is excluded from this report. If an attic is not accessible for inspection, it is recommended that this attic be inspected prior to making your purchase decision.

ATTIC:

Accessibility:

The upper attic could not be inspected due to inaccessibility and therefore its condition is excluded from this report. This attic should be inspected.



The lower attic was viewed from the access opening in the garage.

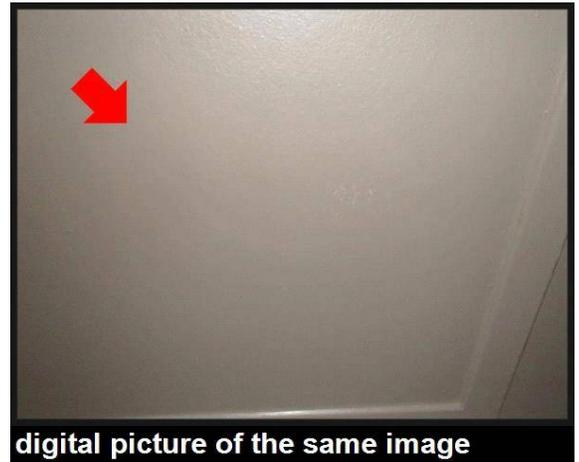
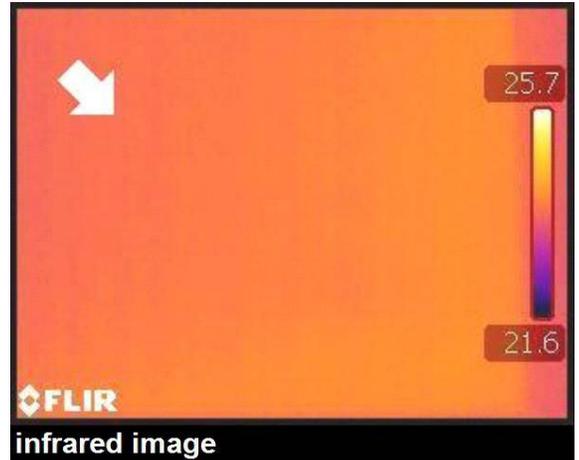


We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

Access Door:

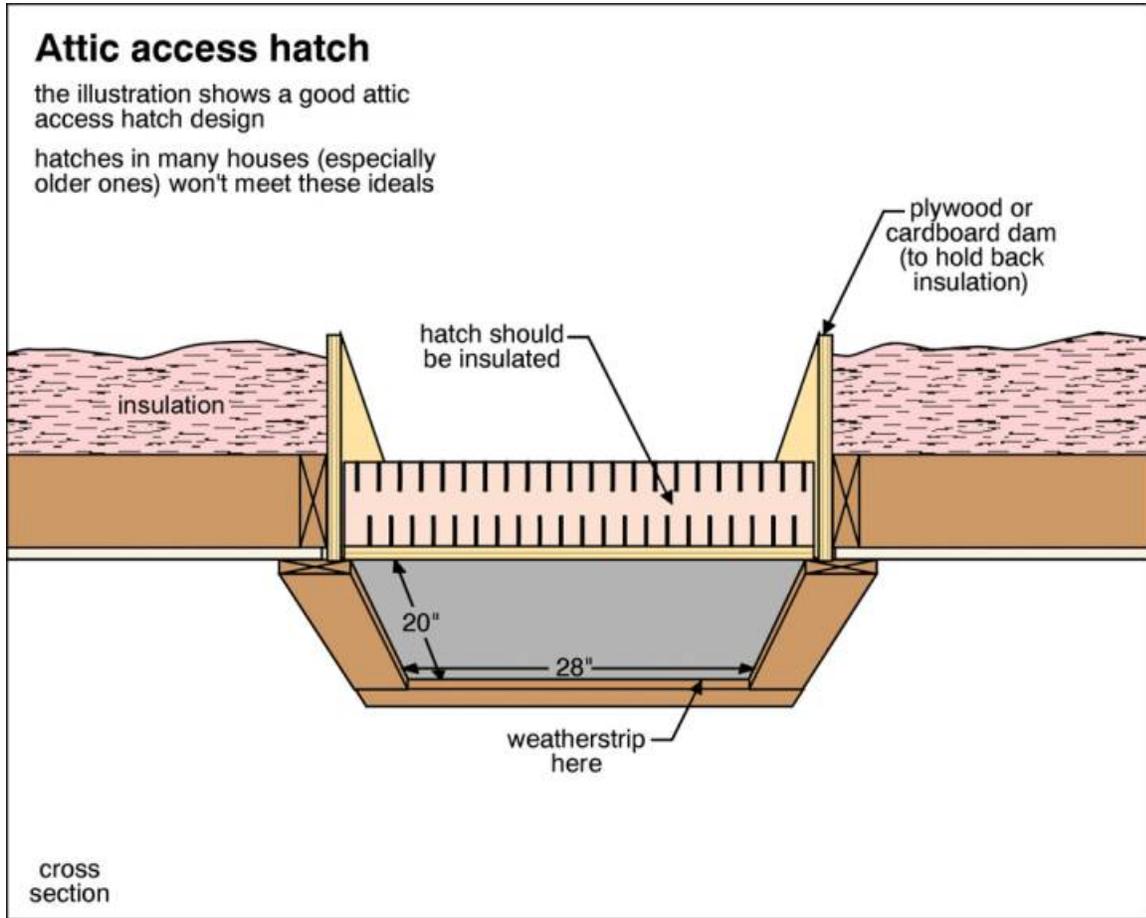
For better energy efficiency, the access door requires insulation. The lighter colours in the infrared images indicate warmer temperature readings which may indicate missing insulation.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample



Observations:

There are no visible signs of current water penetration.



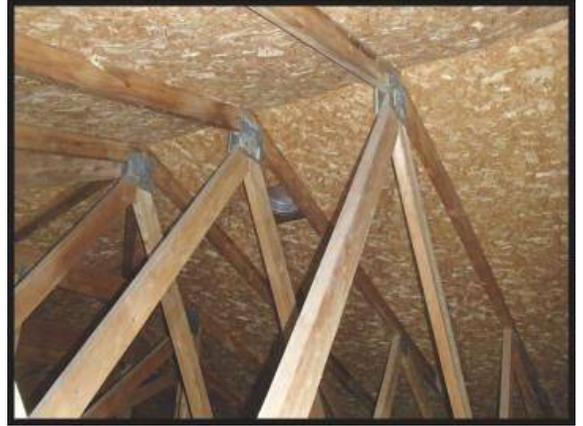


We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

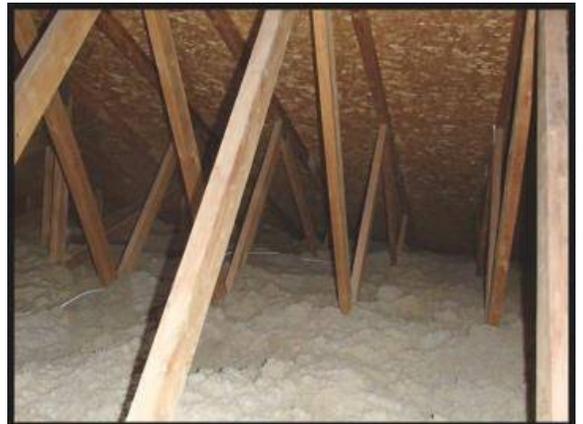
Roof Framing:

The roof framing is trusses.



Insulation Type:

The insulation that is visible in the attic is paper cellulose.



Insulation Condition:

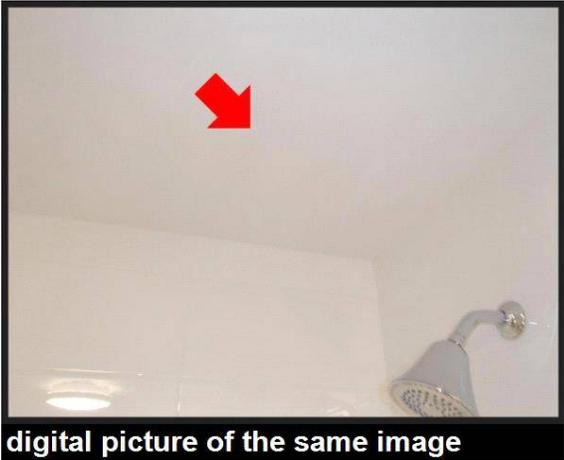
The insulation is approximately R-28 and it should be upgraded for improved energy efficiency. Added insulation will make the home cooler in the summer and reduce heat loss in the winter. The current standard for insulation is R-50.





Report: sample, amherstburg, on Address: Sample

There are areas that are void of insulation. This should be corrected as the insulation should be even throughout for better efficiency. The lighter colours in the infrared images indicate warmer temperature readings which may indicate missing insulation.



Baffles:

There are baffles present in the soffit for ventilation. Baffles help to move air from the soffit into the attic.



Vapour Barrier:

There is 4-mil vapour barrier present. The continuity of the vapour barrier can not be confirmed.



Report: sample, amherstburg, on **Address:** Sample

The vapour barrier to a section of the wall is installed on the wrong side of the attic as it should be installed on the warm side of the attic.



ROOF:

Roof Access:

The roof was examined while walking on it.



Style of Roof:

The hip roof has a slope of a 9:12 pitch.





We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

Roof Covering:

The top layer of roofing material is asphalt shingles.



Layers:

There is one layer of roofing material on the roof.



Approximate Age of Roof Covering:

The top layer of roof covering appears to be approximately 14 years old.





We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

Condition:

As discussed on site, the top layer of roofing material is older and near the end of its life expectancy.



Observations:

There is a loss of granules on the ridge/hip capping exposing the shingle backing and this should be monitored.



The exposed fasteners should be secured/sealed to deter water penetration/damage.



Report: sample, amherstburg, on Address: Sample

To deter moisture issues, added sealant is required at the plumbing vent.



Roof Venting:

The roof venting is fair.



Flashing

The flashing is generally in fair condition.

Tar Paper:

There is tar paper installed beneath the shingles to protect the wood sheathing from the moisture caused by driving rain.

Drip Edge:

There is drip edge on the roof to help direct the water from the roof into the trough.

Soffit & Fascia:

The soffit and fascia are generally in fair condition.

CHIMNEY:

Type:

The chimney is brick.

Condition:

The chimney is generally in fair condition. The chimney is active.



Report: sample, amherstburg, on Address: Sample

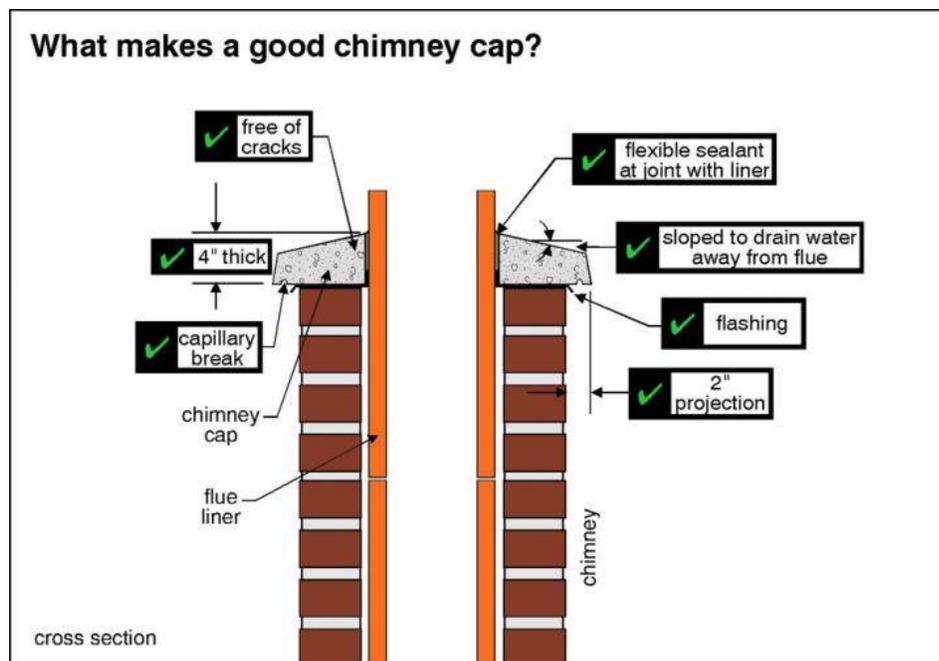
Flue:

The rain hood is missing and should be replaced to deter animals/rain from entering the home. The hood also deters embers from a wood fire from becoming airborne.



Rain/drip Cap:

As discussed on site, the rain/drip cap to the chimney is worn/cracked and it should be repaired/replaced as necessary. The role of the rain/drip cap is to deter moisture from entering the chimney and to deter breakdown of the chimney components.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

EAVES TROUGH & DOWNSPOUTS:

Eaves Trough:

Although the eaves trough is generally in fair condition, a portion of the eavestrough requires re-aligning as it is holding water.



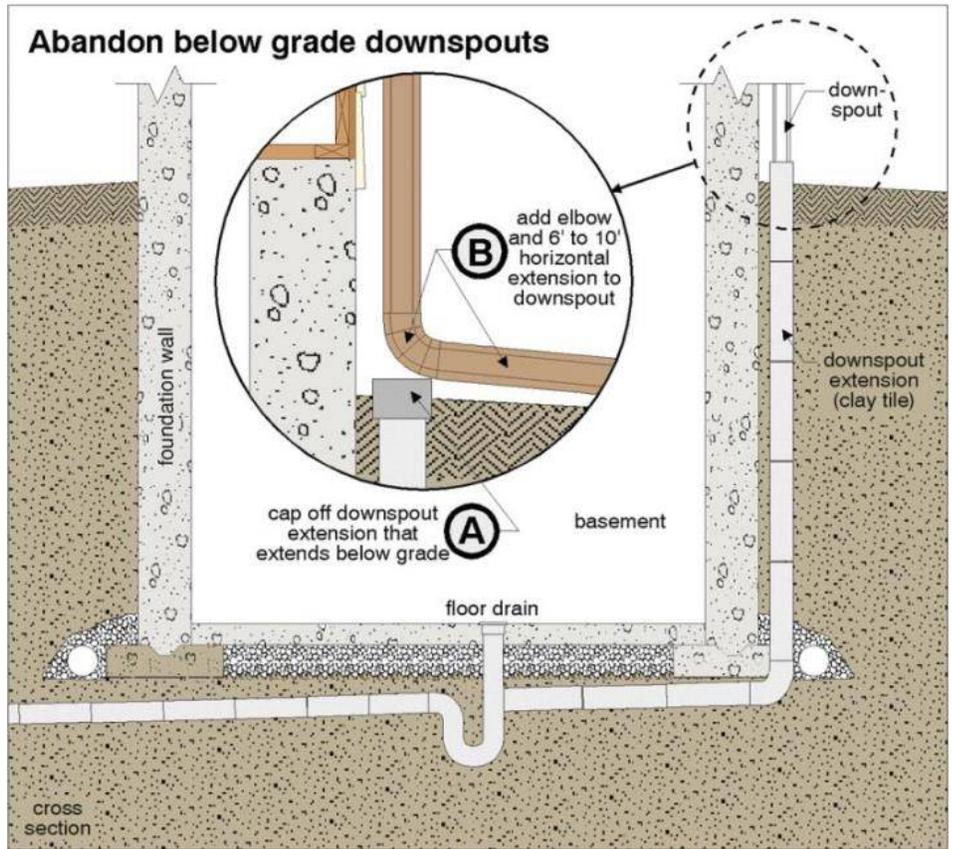
Downspouts:

Some of the downspouts drain into the ground and this may not be reliable for water control ie. water may enter the basement/home. The downspouts should be disconnected from the ground and the water run-off should be directed at least 6 to 8 feet away from the foundation. Downspouts that discharge below grade are more likely to cause basement leakage or foundation damage due to clogged or deteriorated pipes. Disconnecting downspouts to redirect discharge above grade is a preventative measure to reduce the risk of foundation leakage and structural damage. Please note that depending on the age and installation, concealed water damage may have already occurred.





Report: sample, amherstburg, on Address: Sample



The water run-off from some of the downspouts is directed away from the foundation.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

EXTERIOR, WINDOWS, FOUNDATION

Minor settlement cracks in exterior walls are common. Minor cracks are typical in many foundations and exterior walls and most do not represent a structural problem. Although these cracks are generally not a concern, they should be sealed and monitored. If any cracks become wider than 1/4-inch, a structural engineer should assess this situation.

The joints in the exterior walls should be well-maintained to deter moisture and insects from entering through these areas. Ongoing maintenance is required for caulking around doors, windows and wall penetrations such as vents, hose bibs etc. Caulking should be inspected yearly and replaced as necessary.

It is common for older basements to have water penetration after heavy rains or when the snow melts. Most basements will leak at some time. Water penetration in the basement usually occurs from inadequate water control at the exterior of the home, a failure of the drainage tiles or sump pump or from cracks in the foundation.

The inspection of the foundation can be impaired by high grade, landscaping and finished and/or insulated areas in the basement and/or crawl space.

Efflorescence is a white salty substance resulting from the presence of water and may be found on exterior walls. It can be washed-off, however the source of the water should be corrected.

All exterior grades should allow for surface and roof water to flow away from the foundation. The grade should be at least 6 to 8 inches below the bottom of the exterior wall finish.

Windows are considered the weakest link in the building envelope as they have little insulating value and can cause air leakage and condensation issues. The inspection of any shutters, awnings and screens is excluded from this report.

WALLS:

Material:

The following types of exterior finish are present: brick veneer and vinyl siding.

Condition:

The exterior walls are generally in fair condition.



Observations:

All openings passing through the exterior walls should be sealed to ensure that the walls are weather-tight.





Report: sample, amherstburg, on **Address:** Sample

Sealant is recommended where the siding meets the brick walls to render these areas weather-tight.



Screens or non-corrosive steel wool should be installed in the weep holes to deter insects from entering the home. Weep holes are necessary to drain water and act as a venting device for the air space in the wall.



INSULATION:

Insulation:

It appears that the exterior walls are insulated.

WINDOWS:

Thermal Pane Vinyl Windows:

The thermal pane vinyl windows appear to be approximately 10 and 26 years old.

Condition:

The windows are generally in fair condition unless otherwise noted.

General Observations:

The are missing screens for the windows and this should be assessed further with the seller.





Report: sample, amherstburg, on **Address:** Sample

As discussed on site, the exterior of some of the windows requires sealant in order to deter water penetration/damage and/or air intrusion.



FOUNDATION:

Foundation Access:

The foundation was examined from the visible areas at the exterior of the home. The interior of the foundation is not visible for inspection. Therefore the condition of the interior of the foundation is excluded from this report.

Type:

The foundation is concrete block.

Condition:

As discussed on site, the foundation requires some repointing in order to help stabilize and seal the foundation.



GAS METER LOCATION:

Natural Gas:

The natural gas meter is located at the south side of the home.



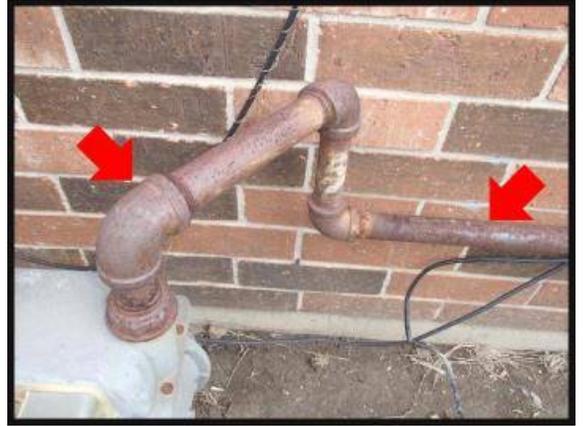


We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

Observations:

There is rust on the steel gas pipe and this should be treated/sealed to deter further rusting.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

BASEMENT/CRAWL

BASEMENT:

Basement:

The basement is finished except the ceiling in some areas.

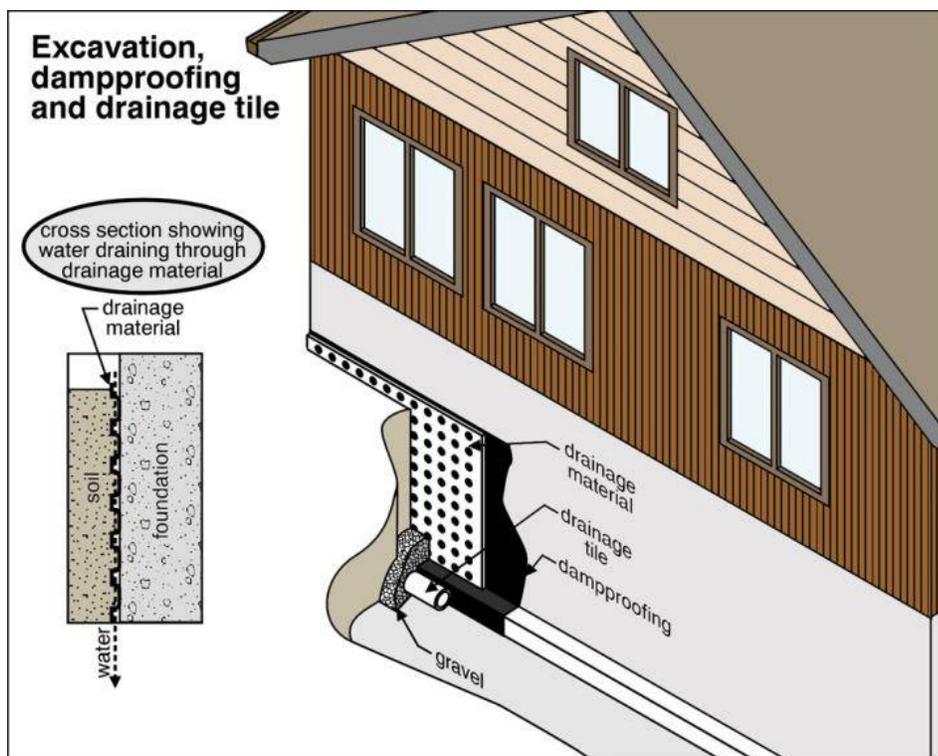


Water Penetration:

Although there are no visible signs of current water penetration, it is common for older basements to have water penetration after heavy rains and when the snow melts.

Report: sample, amherstburg, on Address: Sample

Waterproof Membrane:



Since there is no water proofing membrane noted at the foundation, this should be monitored as the foundation may be more vulnerable to moisture intrusion.

Floor Structure:

The floor structure is 2" x 10" floor joists, spaced at 16-inches on center.



Beams:

The support beam/wall is not visible for inspection and therefore its condition is excluded from this report.



We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

KITCHEN & LAUNDRY

The inspection of appliances is not within the scope of this inspection and therefore their condition is excluded from this report. Laundry and kitchen appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.

KITCHEN:

Sink: The sink(s) is generally in fair condition.
Counters: Counters are generally in fair condition.
Cabinets: Cabinets are generally in fair condition.
Exhaust Fan: There is air loss and this should be corrected for proper venting.



Stove Hook-up: There is a 220-volt receptacle for an electric stove.
Electrical: It is recommended that the electrical outlets located over the counter-top be replaced with split receptacles and/or proper t-slot 20 amp G.F.C.I. receptacles to help deter circuit over-load. Otherwise operating multiple appliances can lead to nuisance tripping of a circuit breaker located in the electrical panel.

LAUNDRY ROOM:

Laundry Tub/Standpipe: The use of a mechanical vent will help to create a better drain since this fixture is not vented properly.
Dryer Hook-up: There is a 220-volt receptacle for an electric dryer.
Venting: The dryer is vented to the outside of the home.
Washer Hook-up: There is a 110-volt receptacle for a clothes washer.
Electrical: The electrical outlets are operative.



We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

BATHROOMS

BATHROOM:

<i>Sink:</i>	The sink(s) is generally in fair condition.
<i>Counter:</i>	Counters are generally in fair condition.
<i>Cabinets:</i>	Cabinets are generally in fair condition.
<i>Toilet:</i>	The toilet is functional.
<i>Tub/Shower Plumbing Fixtures:</i>	The tub/shower is in fair condition.
<i>Tub/Shower Walls:</i>	The tub/shower enclosure appears to be in fair condition.
<i>Exhaust Fan:</i>	The exhaust fan is functional. However, the exhaust fan appears to discharge into the attic and this should be corrected as it should discharge directly to the outside of the home. Large quantities of warm air containing water vapour and moisture will be trapped in the attic resulting in moisture problems.
<i>Electrical:</i>	The G.F.C.I. outlet(s) is functional. G.F.C.I. outlets should be tested regularly in accordance with the manufacturer's instructions.

BATHROOM #2:

<i>Sink:</i>	The sink(s) is generally in fair condition.
<i>Counter:</i>	Counters are generally in fair condition.
<i>Cabinets:</i>	Cabinets are generally in fair condition.
<i>Toilet:</i>	The toilet is functional.
<i>Shower Stall:</i>	The shower stall is generally in fair condition.
<i>Exhaust Fan:</i>	The exhaust fan is functional.
<i>Electrical:</i>	The G.F.C.I. outlet(s) is functional. G.F.C.I. outlets should be tested regularly in accordance with the manufacturer's instructions.

Report: sample, amherstburg, on Address: Sample



The light switch is located too close to a source of water and this should be corrected for safety.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

INTERIOR

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Damage or stains may be hidden by furniture.

Determining the source of odors or like conditions is not a part of this inspection.

All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

DOORS:

House Entry Doors:

The entry doors are generally in fair condition.

Interior Doors:

The interior doors are generally in fair condition. Door stops are recommended to deter damage to the walls.



INTERIOR WALLS:

Type:

The following types of walls are present: drywall.

Condition:

The walls are generally in fair condition.

CEILINGS:

Type:

The following types of ceilings are present: drywall.

Condition:

The ceilings are generally in fair condition.

FLOORS:

Floor Coverings:

The following floor coverings are present in the home: ceramic tile and laminate flooring.

Condition:

The floors are generally in fair condition.

STAIRS & HANDRAILS:

Upper Stairs:

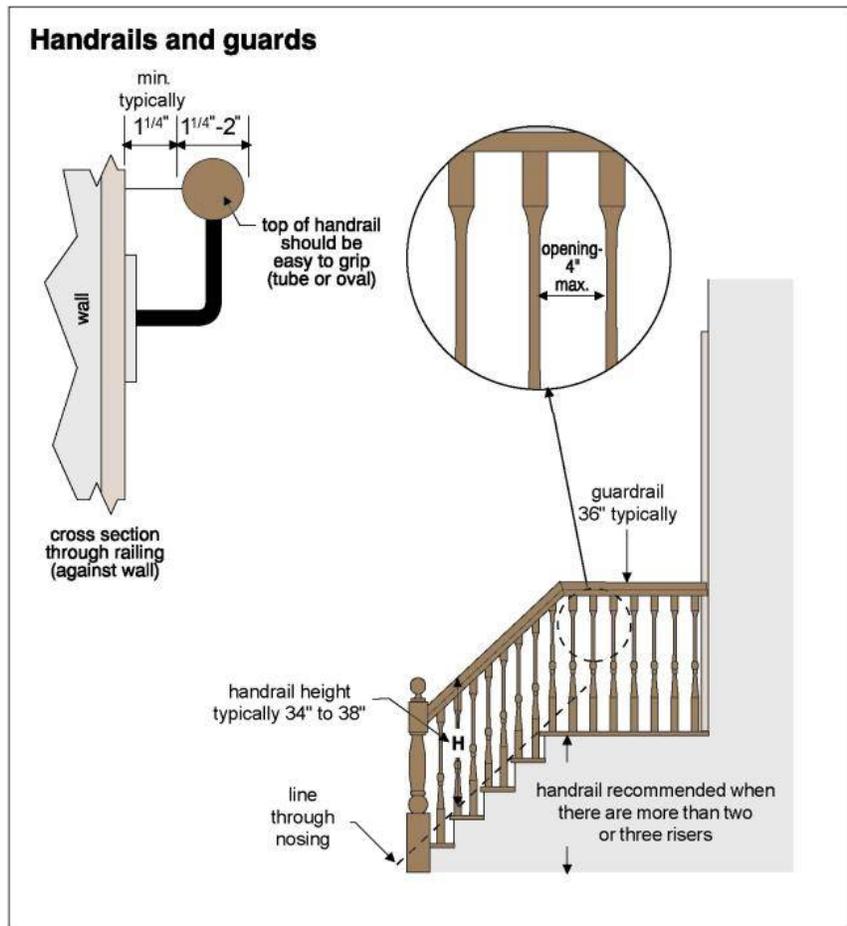
The upper stairs are in fair condition. The handrail is in fair condition. The railing is in fair condition.



Report: sample, amherstburg, on Address: Sample

Lower Stairs:

The lower stairs are in fair condition. However, for safety, the lower stairs require a handrail.





We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

FIREPLACE:

Wood-burning Masonry Fireplace: As discussed on site, for safety the wood-burning fireplace should not be used until it is certified by a WETT technician. The chimney and firebox should be cleaned and inspected for safety.



Report: sample, amherstburg, on Address: Sample

PLUMBING

Water quality or hazardous materials (lead) testing is available from local testing labs. All underground piping related to water supply, waste, or sprinkler use are excluded from this inspection. This inspection is visual in nature and does not attempt to determine the condition of any underground piping, including municipal water and sewer service piping or septic systems.

The average life expectancy of a hot water tank is 8 to 12 years. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor, a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected.

Hot water can scald skin and therefore the hot water tank manufacturer's directions should be followed.

The water to the outdoor tap(s) should be shut off from the interior of the home during the winter to deter the pipes from freezing/bursting from the cold weather.

TYPES OF PIPING:

Main Water Pipe:

The main water supply pipe to the home is copper.



Shut-off Valve:

The shut-off valve is located in the basement and it was not operated.

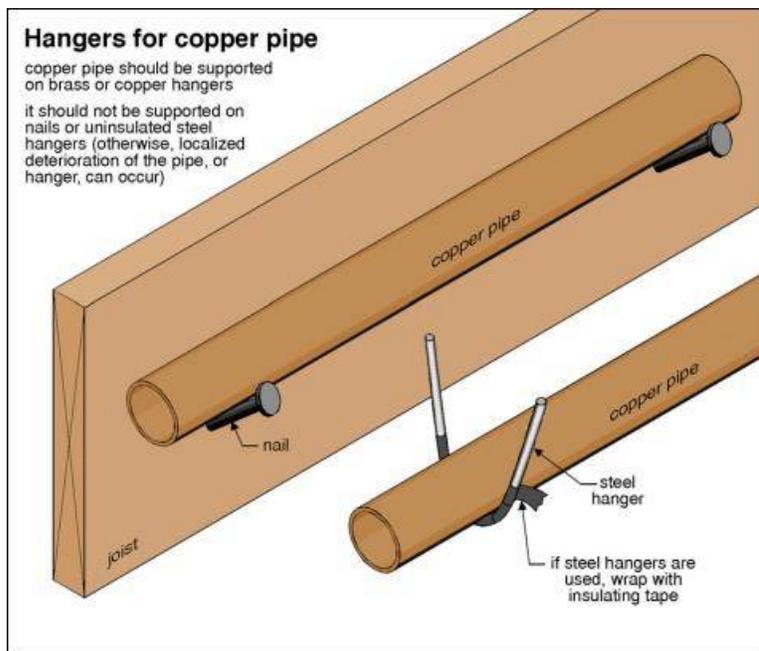


Piping In The Home:

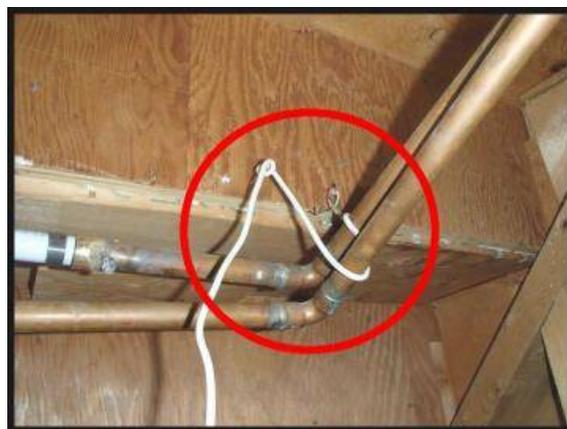
The following piping is noted in the home: copper, ABS and plastic.

Report: sample, amherstburg, on Address: Sample

Observations:



The copper water supply lines should be supported with non-metallic or compatible metal straps to prevent corrosion.



OUTDOOR TAPS:

Condition:

The outdoor tap is functional.

FLOOR DRAIN:

Floor Drain:

The floor drain was not located and was not inspected. A floor drain is required for water control in case of water in the basement ie. hot water tank failure, laundry tub overflow, sump pump failure etc. This should be investigated further.

CLEAN OUT:

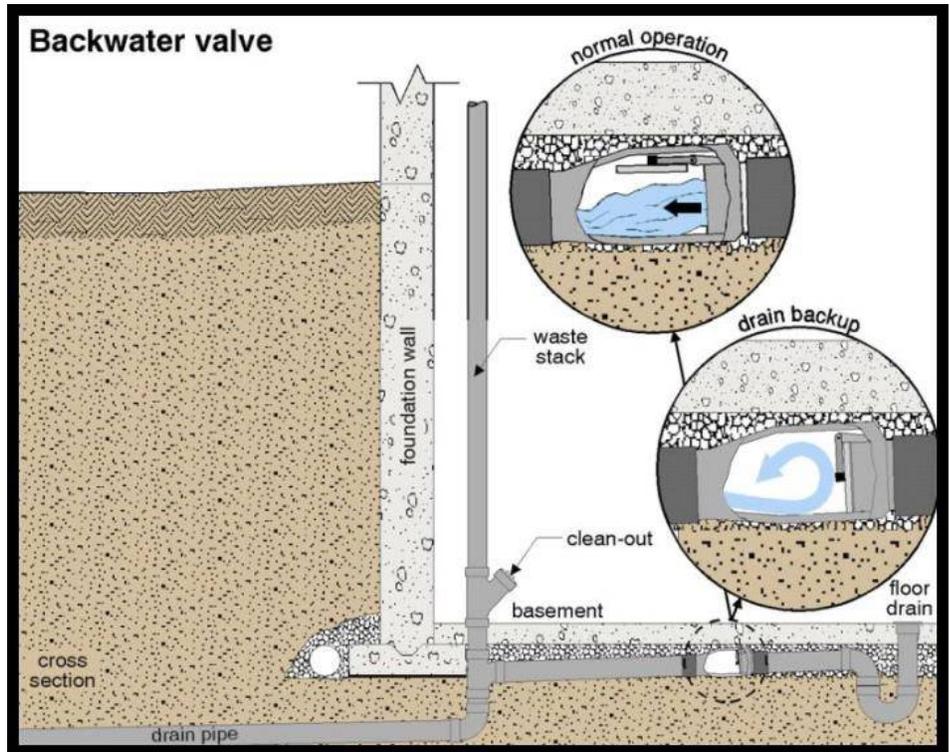
Clean Out:

A clean-out is present.



Report: sample, amherstburg, on Address: Sample

Back-Water Valve:



Most older homes do not have a back-water valve present. A back-water valve is a backflow prevention device used to prevent outbound water through the home's drain pipes from re-entering into the home. The valve contains a flap that allows water to exit the home but closes to prevent back flow into the home. Back-water valves commonly activate when a city's sewer lines are unable to handle a large amount of falling precipitation which puts homes that are tied into the storm lines at risk of having water back flow into them. So, the back-water valve is a check valve or one-way valve to allow toilets, sinks, tub/showers to drain in one direction while preventing a back-up of water/sewage from the road in the other direction towards the home.



We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

HOT WATER TANK :

Type:

The electric hot water tank is rented.



Characteristics:

The hot water tank appears to be a 50 gallon unit. The hot water tank appears to be approximately 11 years old.

Condition:

A pressure relief valve is present, however it was not tested. Although the hot water tank is functional, it has a higher probability rate of failure due to its age.

SUMP PUMP:

Condition:

The sump pump is functional. However for safety and to control moisture, a cover is required over the sump pit.

The role of the sump pump is to lift storm water from a low spot to a storm sewer or other discharge area away from the foundation. The average life expectancy of a sump pump is 2 to 7 years.



Report: sample, amherstburg, on Address: Sample

HEATING & AIR CONDITIONING

The Inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of a home inspection. Some furnaces are designed in such a way that inspection is almost impossible. The Inspector cannot light pilot lights. Safety devices are not tested by the inspector. Normal service and maintenance is recommended on a yearly basis.

The heating system is operated using the thermostat unless otherwise noted. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Subjective judgment of system capacity is not a part of the inspection.

Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection.

Determining the presence and/or condition of any tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which is costly to remedy.

Determining the presence of asbestos can only be preformed by laboratory testing and is beyond the scope of this inspection.

HEATING SYSTEM:

System Type:

The heating system is forced air natural gas. A forced air heating system has an average life expectancy of 20 to 25 years.



Approximate Age:

The heating system appears to be 1 year old.

Condition:

The system is functional.

Burners/Heat Exchanger:

This area of the furnace is not accessible and was therefore not examined.

Blower Fan/belt:

The blower fan is functional.

Air Plenum:

The visible ducts were examined and there is no visible evidence of air leakage.

Filter:

The furnace filter is present.

Thermostat:

The thermostat was functional at the time of the inspection.

Shut-off Switch:

There is an electrical shut-off switch present.

Condensate Line:

The condensate line is functional.

Venting:

The venting system appears functional.



Report: sample, amherstburg, on Address: Sample

AIR CONDITIONING SYSTEM:

Type:

There is a central air conditioner present and its estimated cooling capacity is two tons. The average life expectancy of a central air conditioner is approximately 15 to 20 years.



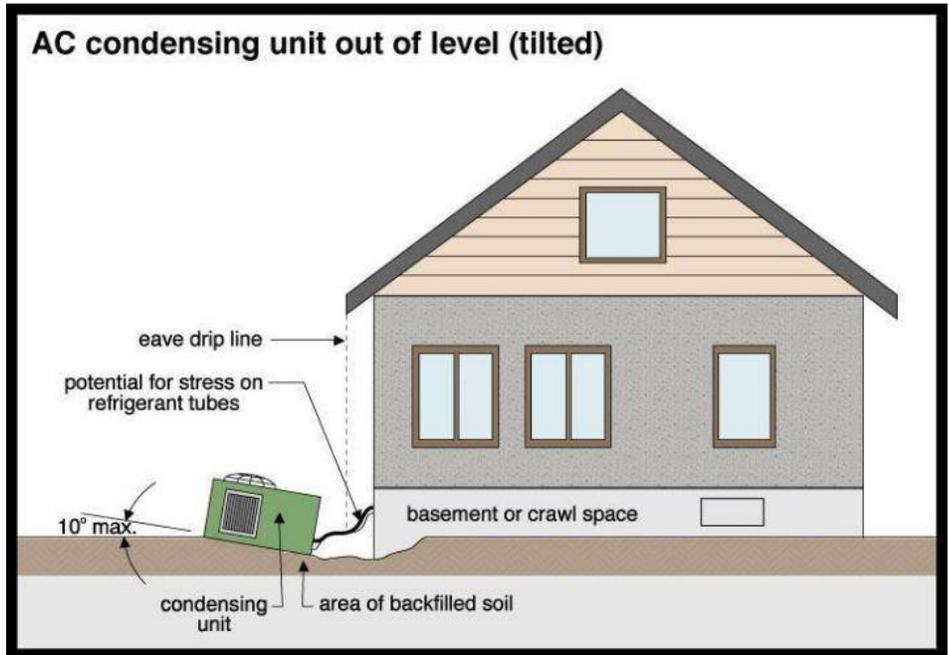
Approximately Age:

The age of the air conditioning system is approximately 1 year old.

Condition:

The air conditioner is functional.

Observations:



The air conditioner requires leveling in order to function as designed.



We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample



air conditioner requires leveling

Report: sample, amherstburg, on **Address:** Sample

ELECTRICAL

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints.

All electrical outlets located at the exterior of the home and in bathrooms should be Ground Fault Circuit Interrupter or G.F.C.I. outlets. These outlets minimize shocks and deter damage from lightening and should be installed where water may come into contact with the electrical outlet. G.F.C.I. outlets should be tested regularly in accordance with the manufacturer's directions.

The main disconnect switch is not shut off during the inspection as it may harm electronic equipment and therefore it should be tested by the homeowner to ensure that it operates properly. The continuity of the system ground is not verified by a visual home inspection.

All panels are opened and examined unless otherwise noted.

The accuracy of the labeling of the breakers/fuses is unknown.

SERVICE:

Type: The electrical service to the house is underground.

ELECTRICAL PANEL:

Panel Location & Comments: The main electrical panel is located in the family room and it is grounded to the main water pipe.



The panel cover requires proper and/or additional fasteners.





Report: sample, amherstburg, on **Address:** Sample

Size: The house appears to be serviced by a 200-amp service panel with 120/240-volt circuits.



Main Disconnect Switch:

The main disconnect switch is located at the main panel.

Type of Wiring:

The visible wiring in the panel is copper.

Circuit Wiring Breakers:

Breakers are present. There are empty slots for additional breakers.

A tie bar is missing and this should be corrected for safety. A tie bar is required so when a circuit breaker trips during an overload, the connected circuit breaker will also trip ensuring that no power remains to the fixture or appliance.

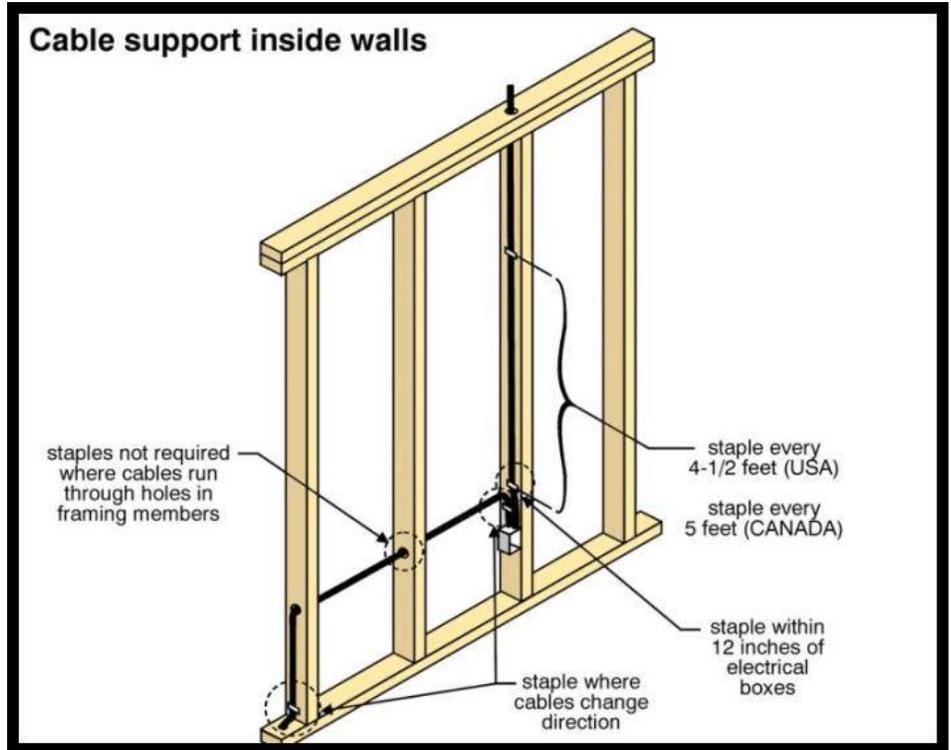




We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample

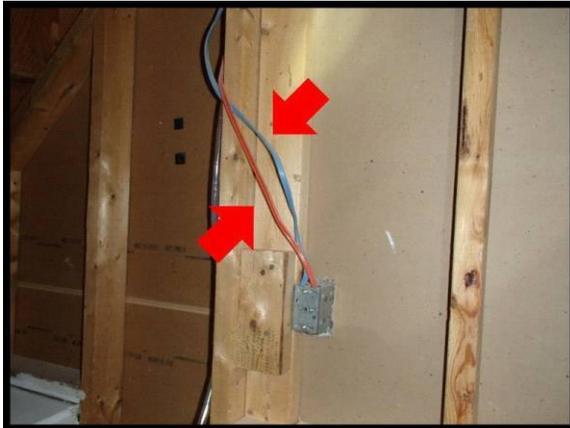
Observations:



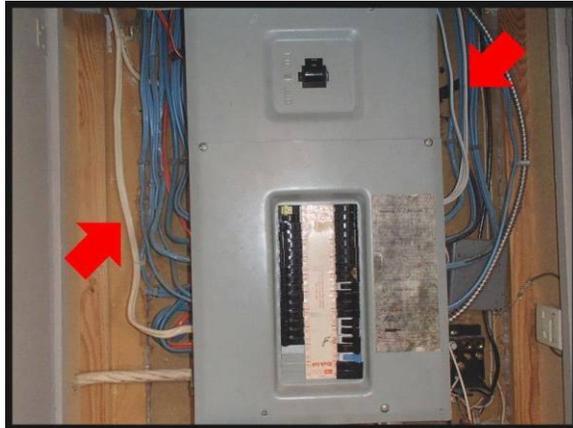
For safety, some of the visible electrical cables should be properly stapled/fastened in place.



Report: sample, amherstburg, on Address: Sample



cables require securing



cables require securing

LIGHTING & OUTLETS:

Outlets:

A representative sample of outlets was tested. As a whole, the outlets throughout the house are functional unless otherwise noted.

G.F.C.I. Outlets in the Home:

Ground Fault Circuit Interrupter (G.F.C.I.) outlets are present where required. G.F.C.I. outlets minimize shocks and deter damage from lightning. G.F.C.I. outlets should be tested regularly in accordance with the manufacturer's instructions.

G.F.C.I. Outlets at the Exterior of the Home:

Ground Fault Circuit Interrupter (G.F.C.I.) outlets are present where required.

Lighting:

A representative sample of light fixtures was tested. As a whole, the light fixtures throughout the home are functional unless otherwise noted.



Report: sample, amherstburg, on **Address:** Sample

MISCELLANEOUS

SMOKE / CARBON MONOXIDE DETECTOR:

Smoke Detectors:

There is a smoke detector on each level in the home and their operation should be tested upon occupancy for safety. The manufacturer's directions should be followed to ensure that smoke detectors are in working order.

Carbon Monoxide Detector:

For safety, additional carbon monoxide detectors are required as there should be one detector on each level of the home. Carbon monoxide detectors should be tested regularly as per the manufacturer's directions for safety. The manufacturer's directions should be followed to ensure that carbon monoxide detectors are in working order.

EXCLUSIONS:

Appliances:

The inspection of the appliances does not form part of this inspection and therefore their condition is excluded from this report.





We Provide
Peace of Mind!

Report: sample, amherstburg, on Address: Sample



Central Vacuum System:

As discussed on site, the inspection of the central vacuum system and its components does not form part of this inspection and therefore its condition is excluded from this report.



Permits:

It appears that permits may not have been issued for some of the renovations in the home. This should be investigated further with the municipality and/or electrical authority. Newly added plumbing, electrical and heating/cooling require a permit and inspection. This should be investigated further as the work may not comply with building standards.

Report: sample, amherstburg, on **Address:** Sample

Rodents:

As discussed on site, there is evidence of rodents in the home. The inspection for rodents does not form part of this inspection and therefore it is recommended that a pest control company assess this further. Rodents/animals can cause damage to electrical wiring and to other building components. The extent of any damage caused by rodents is unknown and cannot be determined by this visual home inspection.



Satellite Dish:

As discussed on site, the inspection of the satellite dish does not form part of this inspection and therefore its condition is excluded from this report.



Shed:

As discussed on site, the inspection of the shed(s) does not form part of this inspection and therefore its condition is excluded from this report.



Recommended Reading Material:

Asbestos:

[https://en.wikipedia.org/wiki/Asbestos.](https://en.wikipedia.org/wiki/Asbestos)

Carbon Monoxide:

[https://en.wikipedia.org/wiki/Carbon_monoxide.](https://en.wikipedia.org/wiki/Carbon_monoxide)

Fire Safety:

[https://en.wikipedia.org/wiki/Fire_safety.](https://en.wikipedia.org/wiki/Fire_safety)



We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

GARAGE

Determining the heat resistance rating of firewalls is beyond the scope of this inspection. For safety, separation walls and ceilings between the garage and dwelling unit should be inspected and maintained on a regular basis to ensure that all gaps, seams and openings are properly sealed with suitable materials.

Flammable materials should not be stored within closed garage areas.

TYPE:

Location: The garage is attached to the house. The roof, exterior walls and foundation are essentially the same as the house.

Observations: The inspection of the garage was impaired due to all the items stored in the garage. Therefore the condition of these areas is excluded from this report.



ATTIC:

Accessibility: The attic was viewed from the access opening in the garage.

Observations: There are no visible signs of water penetration.

Roof Framing: The roof framing is trusses.

CEILING:

Type: The ceiling is drywall.

Condition: The ceiling is generally in fair condition.

INTERIOR WALLS:

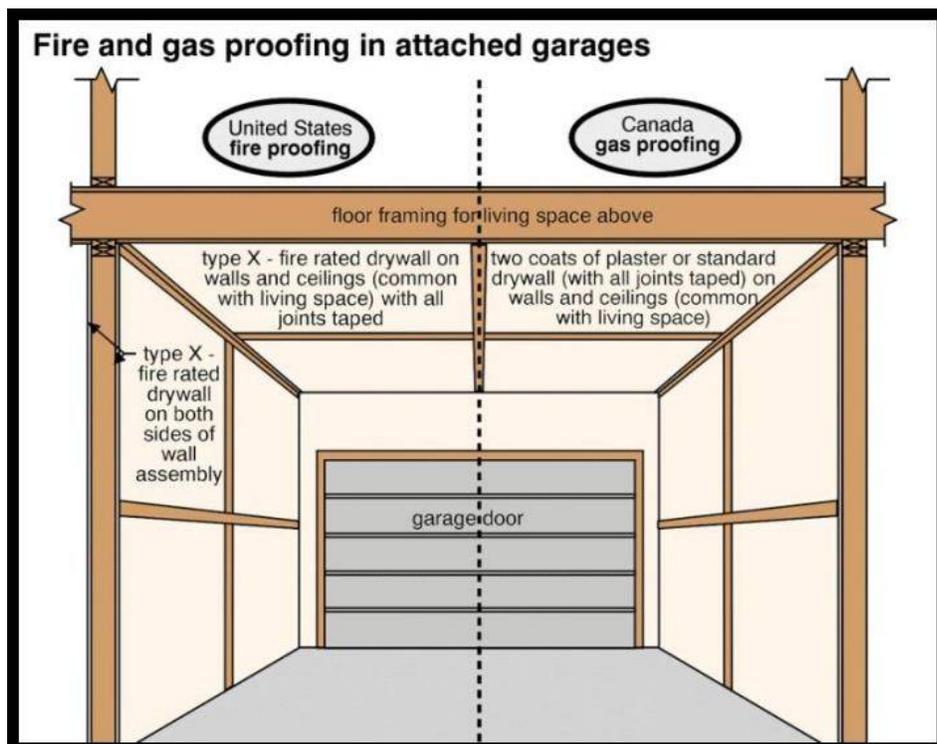
Type: The walls are drywall.

Condition: The walls require some repairs.

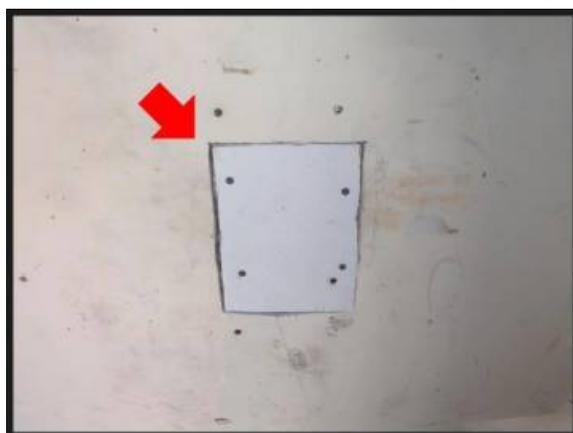
Report: sample, amherstburg, on Address: Sample

SEPARATION WALL:

Separation Wall:



For safety, all openings in the separation wall should be repaired/sealed with approved materials in order to have a proper separation between the garage & the dwelling and to deter potentially hazardous gases from entering the dwelling.





We Provide
Peace of Mind!

Report: sample, amherstburg, on **Address:** Sample

Separation Door:

In order to deter toxic gases from entering the dwelling, an automatic door closure is required on the separation door and sealant is required along the garage-side of the door trim for safety.



FLOOR:

Type:

The garage floor is concrete.

Condition:

The floor is generally in fair condition.

BELOW GRADE ENTRANCE:

Below Grade Entrance in Garage:

The retaining wall is generally in fair condition. The below grade steps are in fair condition. The handrail to the below grade steps is in fair condition. The railing is in fair condition.



GARAGE DOOR(S) & WINDOWS:

Overhead Door(s):

The overhead garage door is functional. The overhead garage door is equipped with an automatic door opener with a safety feature to deter the door from closing on someone. The testing of the remote door openers is beyond the scope of a inspection and therefore their condition is excluded from this report. Automatic doors should be tested and serviced regularly to ensure proper operation of the safety feature(s).



Report: sample, amherstburg, on **Address:** Sample

The garage door opener should have a receptacle located next to the opener. The use of extension cords is not recommended.



A safety bolt is recommended to help deter mechanical damage to the opener.

